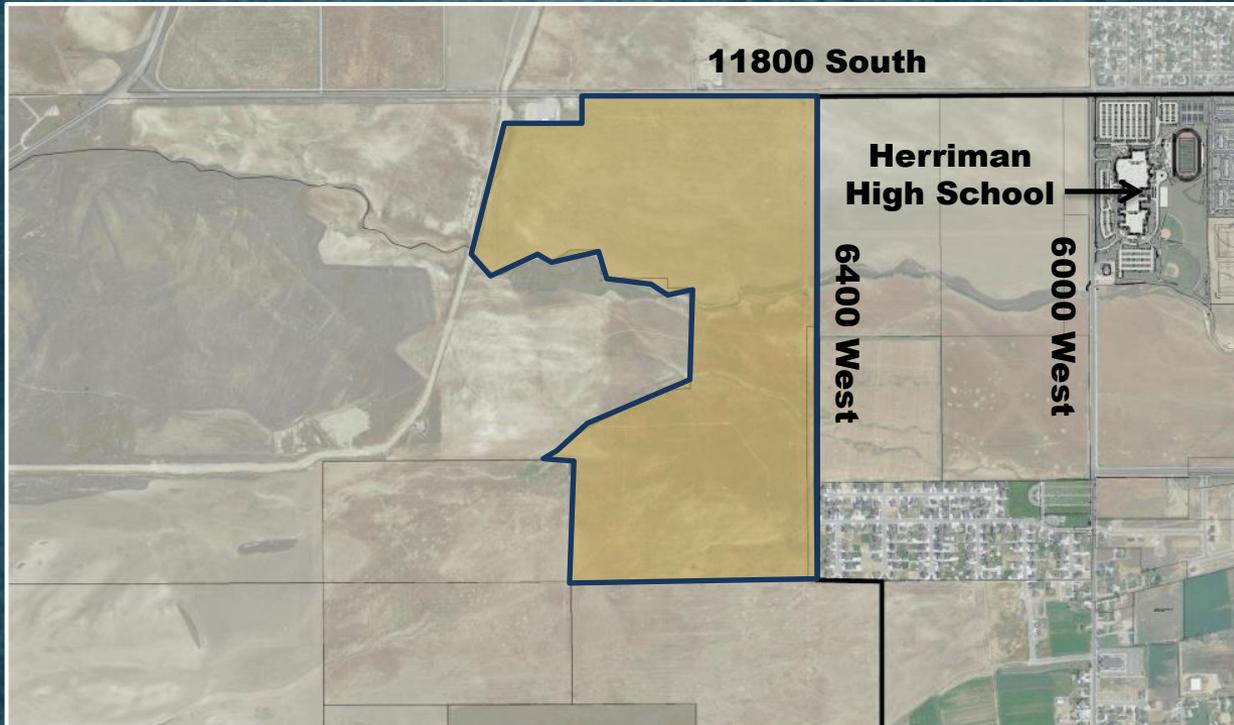
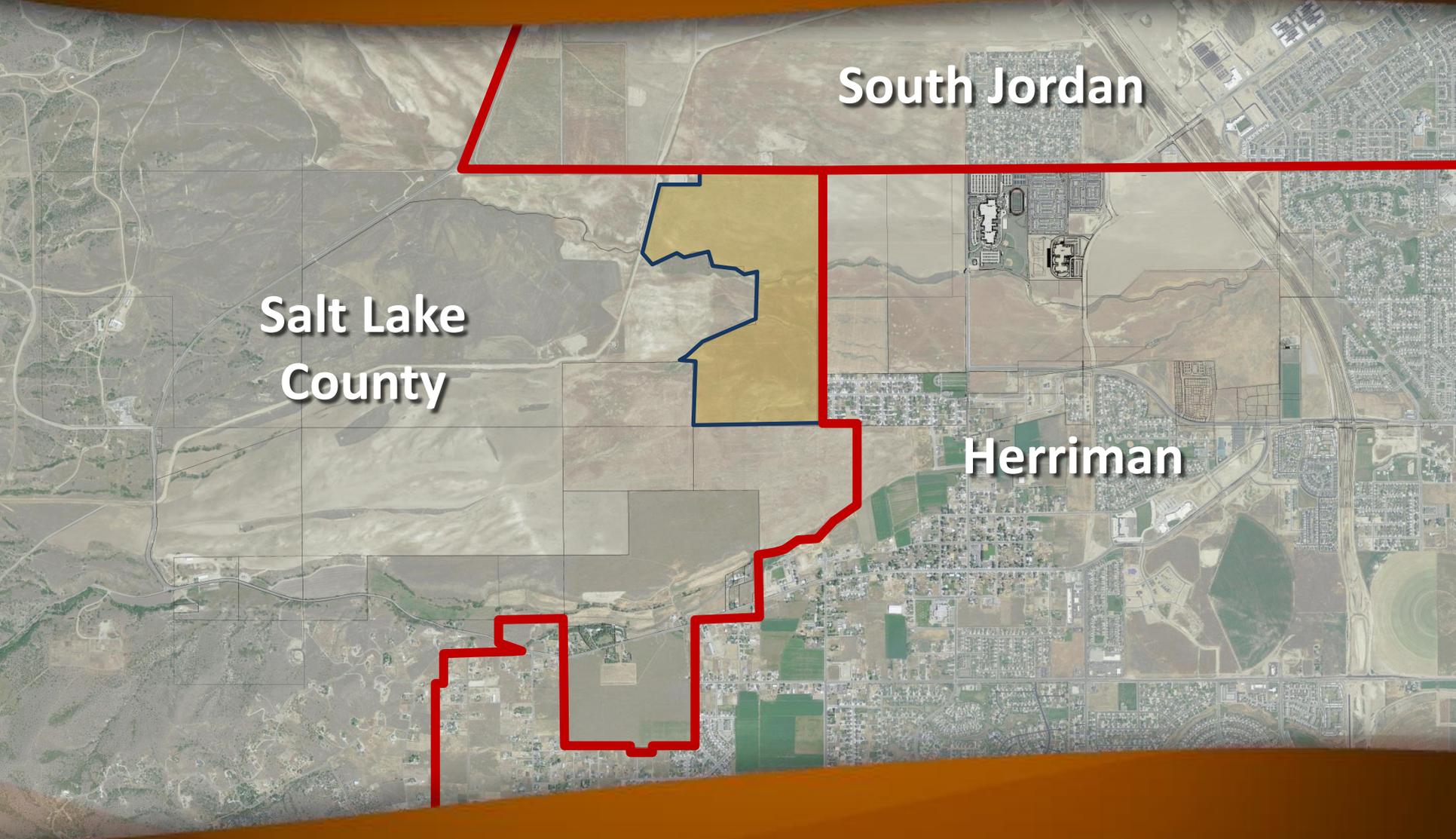


Creek Ridge PUD



Creek Ridge PUD



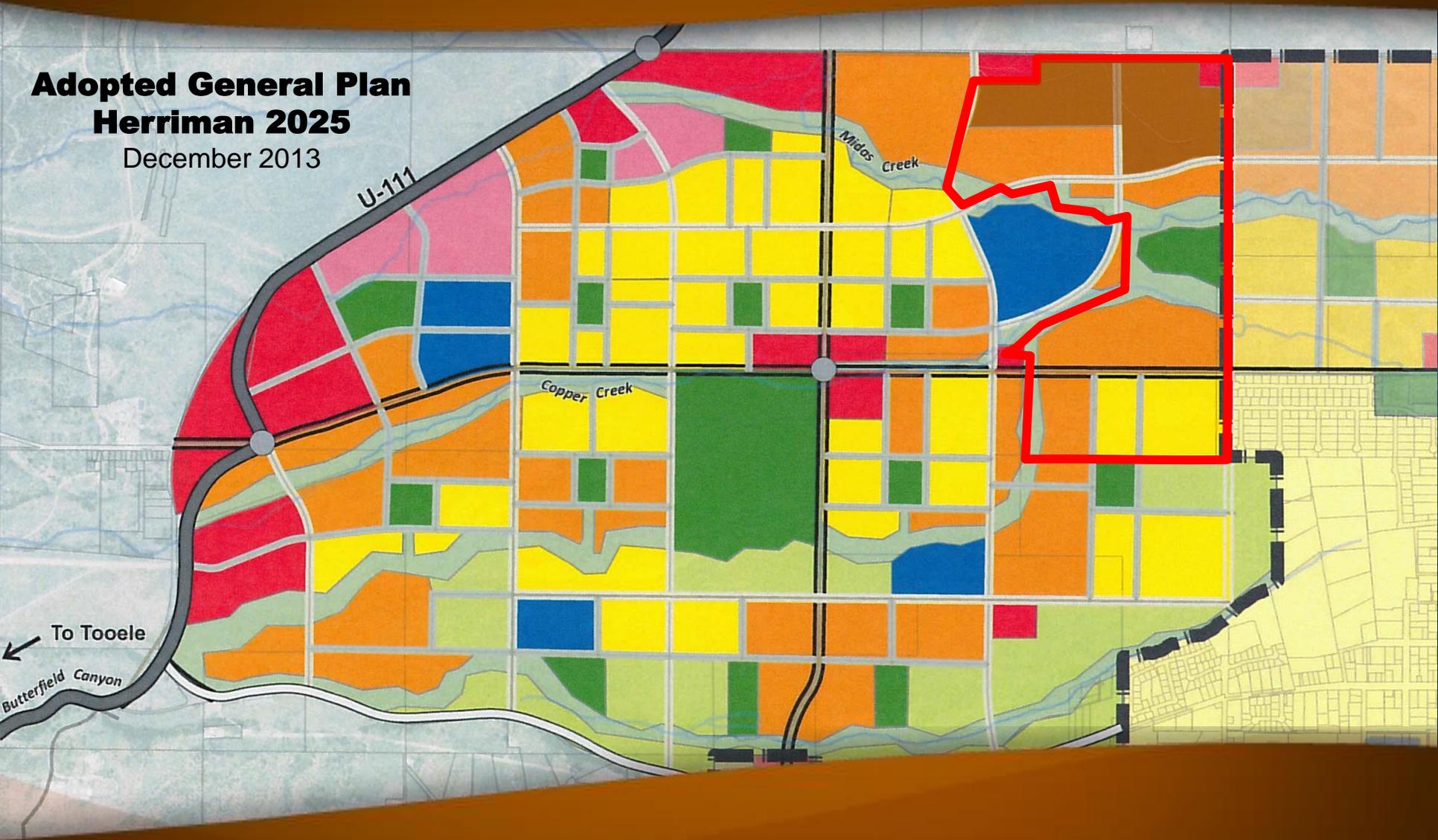
South Jordan

Salt Lake
County

Herriman

Creek Ridge PUD

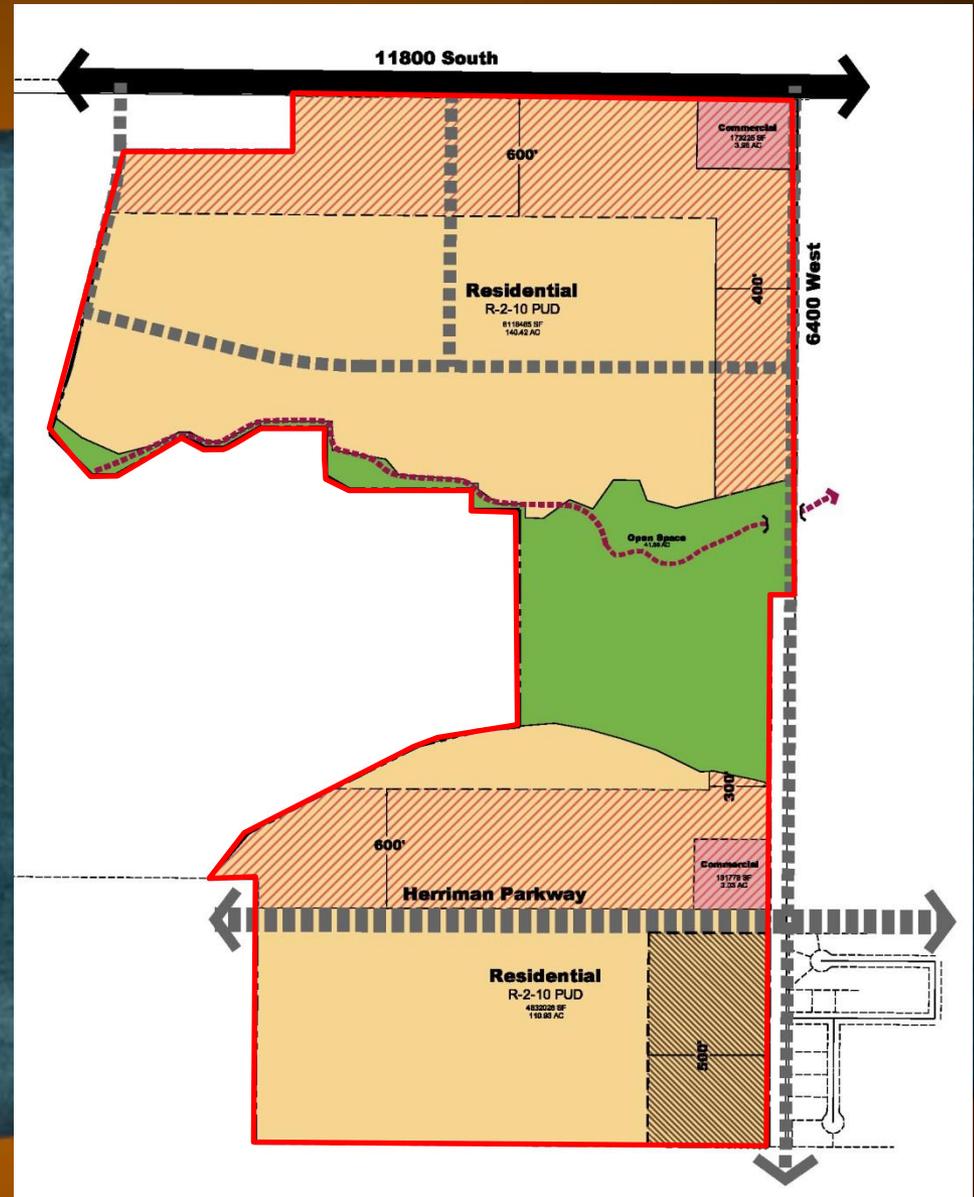
**Adopted General Plan
Herriman 2025**
December 2013



Creek Ridge

Former Submitted PUD (R-2-10)

- Included 2,549 Units
(a 307 unit reduction or 12%)



Creek Ridge

Progress since last meeting:

- Annexation petition submitted
- Master Development Agreement
- Project Guidelines/ Definition of Process
- Open House
- Met with Resident Group

Comments Summary

Creek Ridge Open House - March 18, 2014

Density cap is too high

Herriman has too much high density / Growth

Bigger buffer/like value next to Heritage Estates

Burden on police & fire with HD / Crime

Burden on schools

Only want single-family & Horse property

Traffic through Heritage Estates / Wall / Block traffic

Concern about quality/building materials (i.e. Garbett)

Too much flexibility / No Detail / Setbacks / Distribution of Density

Apartments far away/North of creek / Single-family south of creek

Against high-density / Apartments

Traffic / Require 60' street widths / Lacking Roads to get around

Added costs to the city

Creek Ridge

Revised Plan (R-2-10 PUD)

- Includes 2,090 Units
(a 766 unit reduction or 27%)

Density Summary

Residential Land Use Summary	Acres
Total Area	300.00
Commercial	7.0

Area	Acres	Units
Area A	138.65	1,615
Area B	71.12	520
Area C	38.23	117
Chapel Sites	18*	(-126)
Elementary School	6 (Net) **	(-36)
Total Allocated Residential Units		2,090

* 5-6 Chapel Sites 3+/- Acres Each

** 12 Acre School Site, 50% Open Space, 6 Acre Net

Total Residential Units	2,090
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Total Required Open Space	58.60
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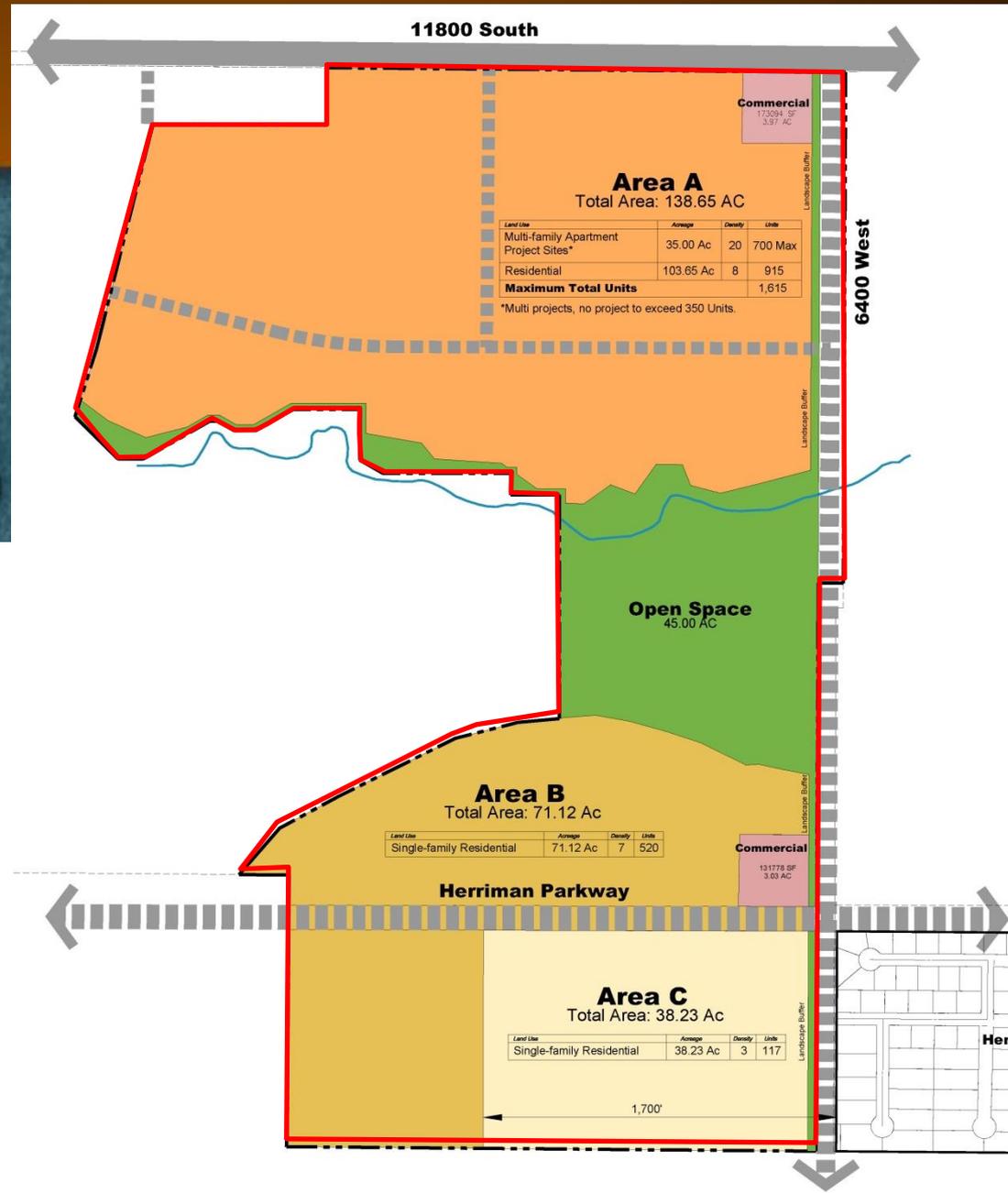
✳ **Potential Elementary School Sites**
(1-2 Sites)

✳ **Potential Chapel Sites**
(5-6 Sites)

✳ **Potential Open Space**
(Locations & size to be determined at plat)

- * Pocket Parks
- * Expanded street landscape

✳ **Additional Open Space**
(13.6 Acres)



Creek Ridge

Submitted PUD (R-2-10)

- Dedication of 45.00 Acres of public open space to Herriman City

Density Summary

Residential Land Use Summary	Acres
Total Area	300.00
Commercial	7.0

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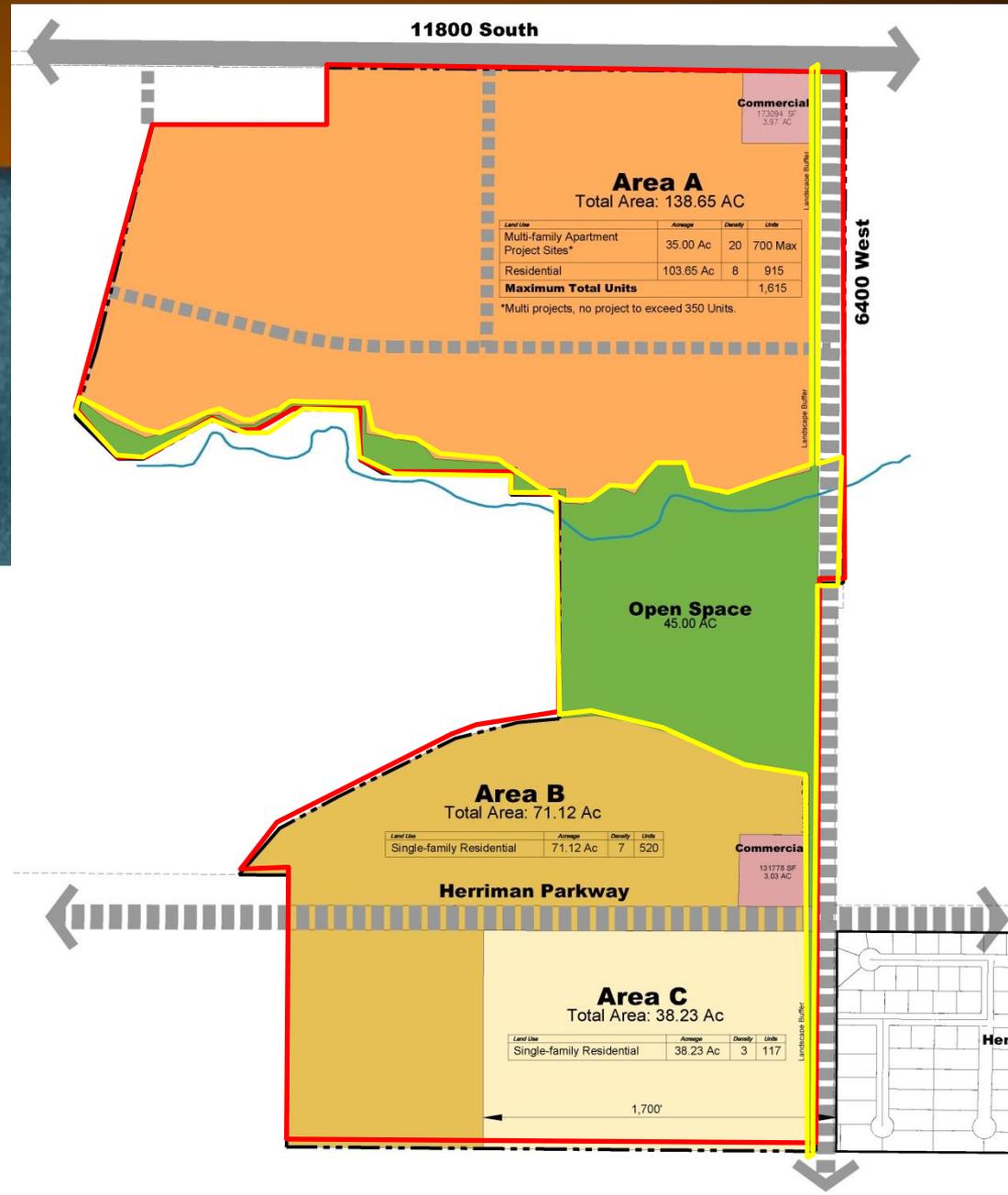
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(Locations & size to be determined at plat)
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Creek Ridge PUD

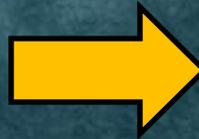
Project Guidelines—Process:

Step 1:

Builder application to
Design Review Committee

Stringent Review of:

- Architectural Theme & Aesthetics
- Lot / Building configurations
- Building colors & materials
- Neighborhood Design
- Open space configuration
- Trail connections
- Signage



Step 2:

**Builder application to
Herriman Planning Commission**

Review of:

- All DRC items
- Density Distribution
- Lot Widths
- Building Heights
- Parking
- Street Layouts
- Road Cross-sections

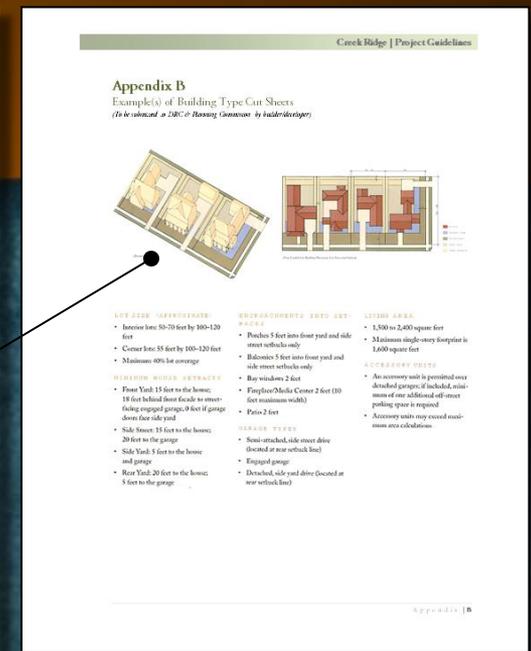
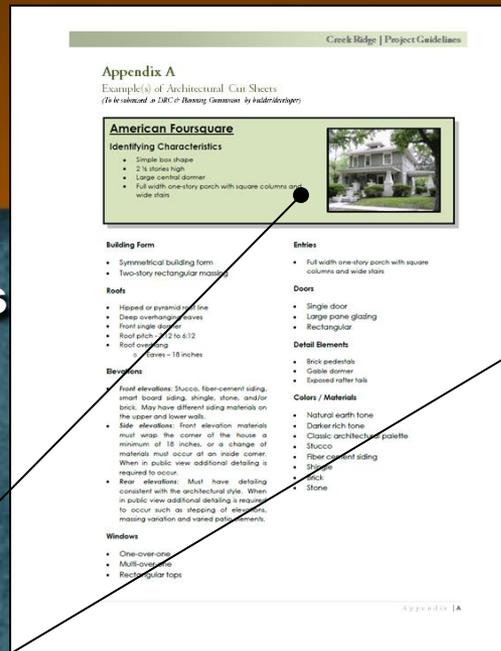
Creek Ridge

Project Guidelines—Process

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- Lot / Building configurations
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Creek Ridge PUD



Architectural Theme

Typical Roof Features



Hip Roof



Dormers



Gable Roof

Typical Window Features



Arched Windows



Lintels



Surrounds

Typical Architectural Design Features



Porches



Balconies



Quality Materials

Creek Ridge Master Development Agreement

Development Agreement Provides Significant Benefits to the City:

- Limits amount and extent of developer's rights
 - Provides significant limits to density
 - Offer large buffers to existing residential
 - Restricts access to Heritage Hill Drive until other access ways are constructed
- Confirms high quality construction and development standards for entire property
- Secures 58 acres of open space; 45 acres for regional park
- Allows the City to control/manage development on this key property

Creek Ridge

Revised PUD (R-2-10)

- Density Reduction
- Density restrictions by area (Zoning Conditions)
- Dedication of Park lands

Questions or Comments?

