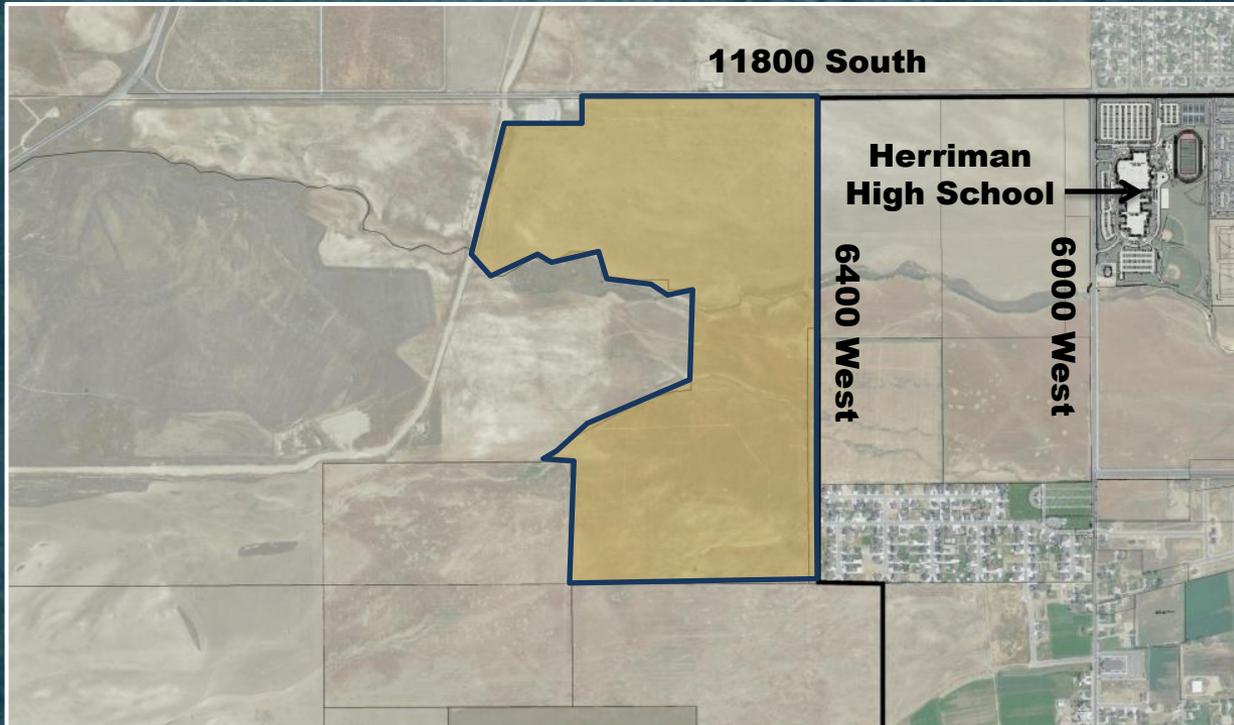
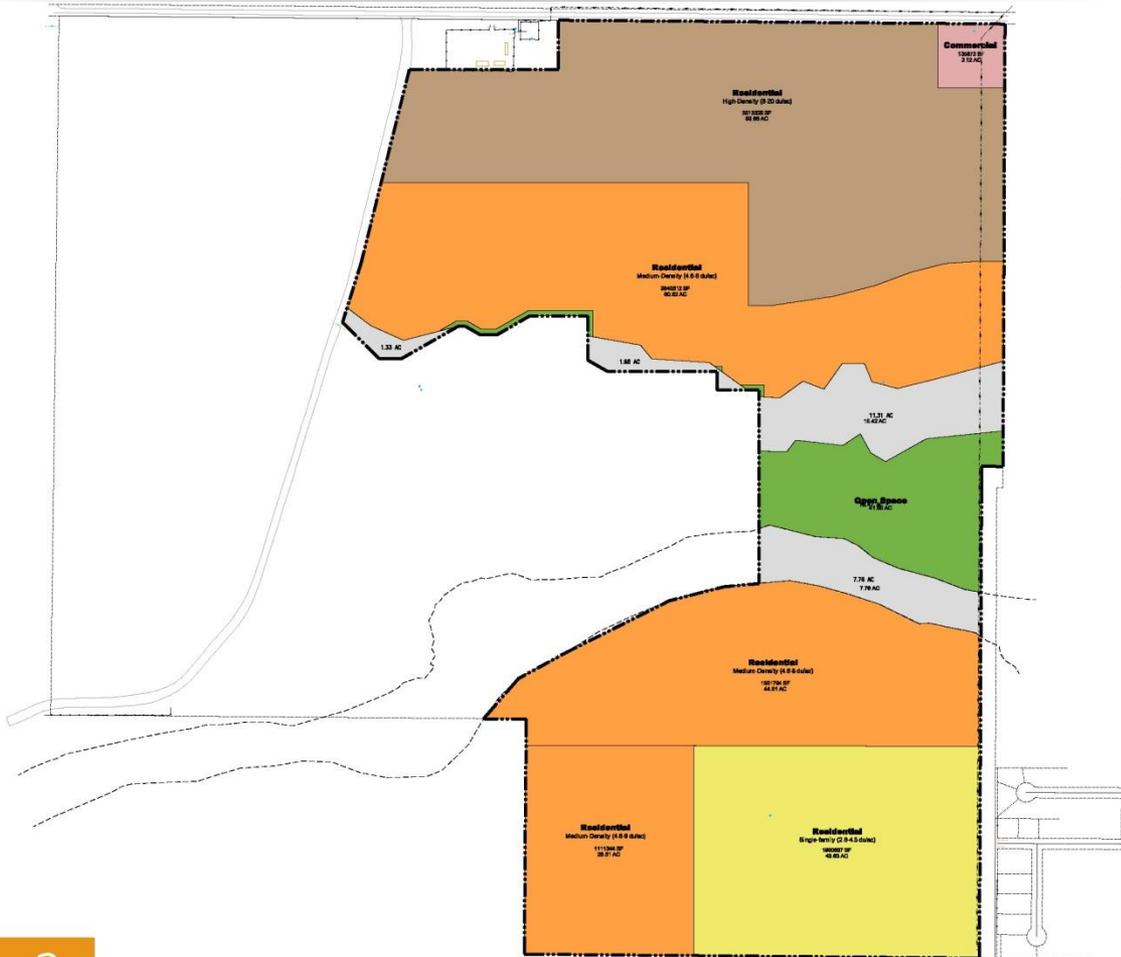


# Creek Ridge PUD



# Creek Ridge



## Herriman General Plan Density Summary

Residential Land Use Type	Acres	Density		Units (Low)	Units (High)
		Low	High		
High-density Residential	80.65	8	20	645	1,613
Medium-density Residential	130.94	4.6	8	602	1,047
Single-family Residential	43.63	2.6	4.5	113	196
<b>Total Residential</b>				<b>1,360</b>	<b>2,856</b>



January 14, 2014

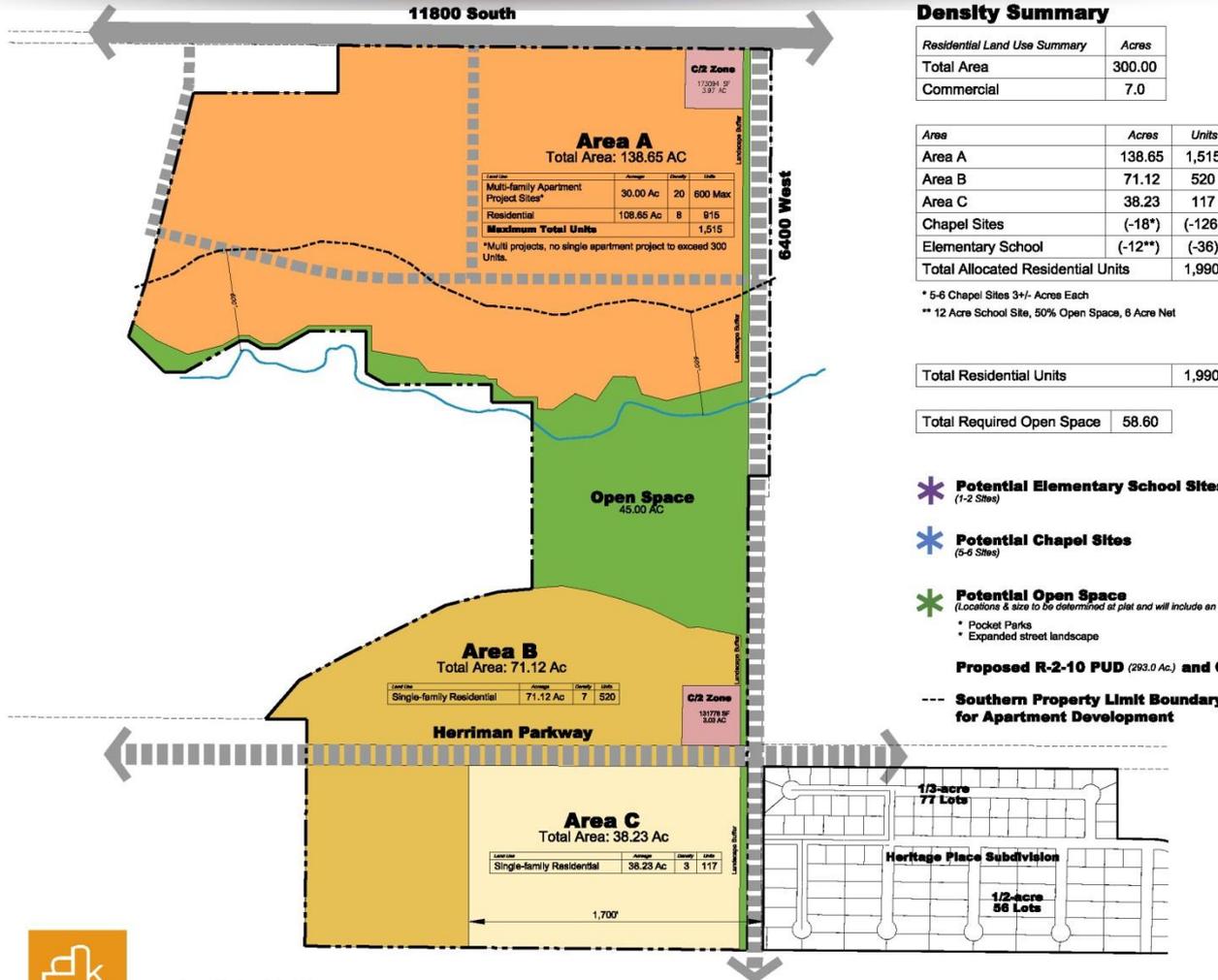


\*\* This document is privileged & confidential.

## General Plan

Approx. 11800 South & 6600 West, Herriman, Utah

# Creek Ridge



## Density Summary

Residential Land Use Summary	Acres
Total Area	300.00
Commercial	7.0

Area	Acres	Units
Area A	138.65	1,515
Area B	71.12	520
Area C	38.23	117
Chapel Sites	(-18*)	(-126)
Elementary School	(-12)**	(-36)
<b>Total Allocated Residential Units</b>		<b>1,990</b>

\* 5-6 Chapel Sites 3+/- Acres Each  
 \*\* 12 Acre School Site, 50% Open Space, 6 Acre Net

Total Residential Units 1,990

Total Required Open Space 58.60

\* Potential Elementary School Sites (1-2 Sites)

\* Potential Chapel Sites (5-6 Sites)

\* Potential Open Space (Locations & size to be determined at plat and will include an additional 13.6 Ac.)  
 • Pocket Parks  
 • Expanded street landscape

Proposed R-2-10 PUD (293.0 Ac.) and C-2 Zoning (7.0 Ac.)

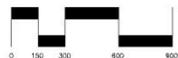
--- Southern Property Limit Boundary for Apartment Development

Master Developer is vested in the uses, types, counts and depictions contained on this document. Nevertheless, Master Developer shall have the right to modify, in its sole discretion, any and all of the features, depictions contained on this map, subject to the following limitations:

1. Trails. Trails should create continuity and linkages between major communities and open space.
2. Apartments shall not be allowed in Areas B & C.



April 3, 2014



\*\* This document is privileged & confidential.

**Creek Ridge PUD**  
 Approx. 11800 South & 6400 West, Herriman, Utah

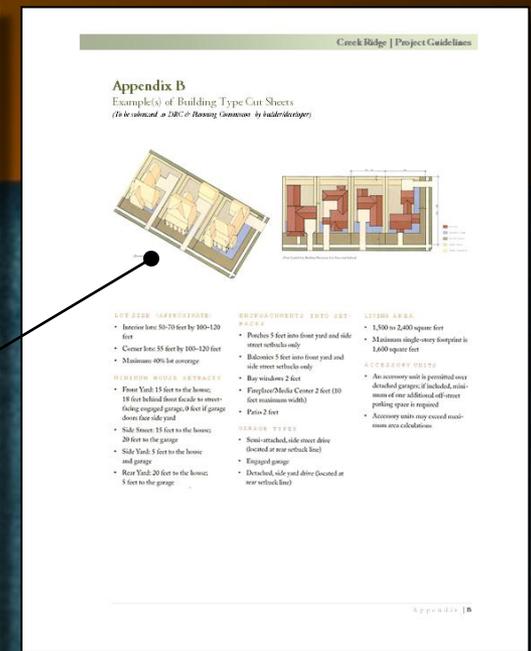
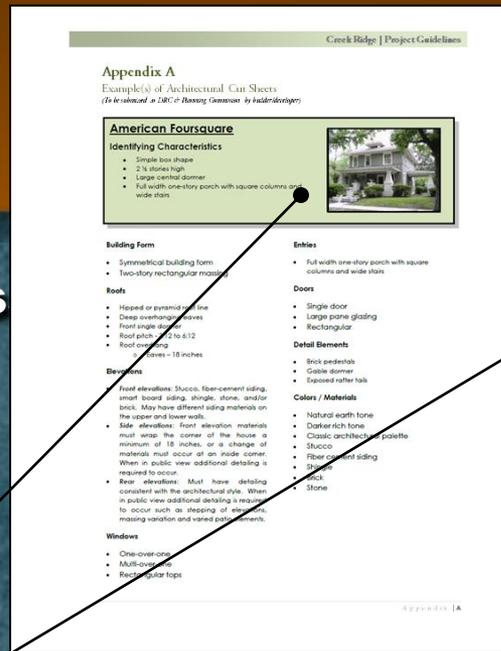
# Creek Ridge

## Project Guidelines—Process

### Step 1: Builder application to Design Review Committee

#### Stringent Review of:

- Architectural Style & Aesthetics
- Lot / Building configurations
- Building colors & materials
- Neighborhood Design
- Open space configuration
- Trail connections
- Signage



# Creek Ridge PUD



## Architectural Theme

### Typical Roof Features



Hip Roof



Dormers



Gable Roof

### Typical Window Features



Arched Windows



Lintels



Surrounds

### Typical Architectural Design Features



Porches



Balconies



Quality Materials