



Project Guidelines

Creek Ridge Property
Administered by City of Herriman

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A. Introduction

The following is a summary of the major points describing the project:

1. **Project area**—The project area is 300.00 acres.
2. **Project Zoning**—The project is zoned R-2-10 with an approved Preliminary PUD overlay, with the exception of two zoned C-2 commercial pads on the southwest corner of 11800 South & 6400 West and the northwest corner of Herriman Parkway & 6400 West. The total area of these commercial parcels is approximately 7.0 acres.
3. **Density**—The project is approved with underlying zones of C-2 and of R-2-10 with a PUD overlay. The total allowed residential units for the project (total area less the commercial parcels) shall be 1,990 units. The property is divided in three density zones (Areas A, B & C) and shall be allocated as per the standards identified in Section C.
4. **Major Streets**—The major and minor arterial streets servicing the property (i.e., 11800 South Street, 6400 West Street, and Herriman Parkway) shall be as per the approved Preliminary PUD as adopted by the City. The interior street network will be determined upon approval of final plat applications.
5. **Open Space**—The PUD overlay requires a dedication of 20% open space for the total property zoned R-2-10. Based on the projected area of the R-2-10 zone, the project would be required to allocate approximately 58.60 acres of open space. Open space is defined by the Master Development Agreement entered into between the City and the master developer.
6. **Flexibility**—The Preliminary PUD overlay was developed with the ability to adapt to the changing market, cultural and commercial conditions during the course of the project build-out. While the plan allows a high degree of flexibility in layout and distribution of land uses throughout the site, these project guidelines incorporate additional constraints to limit the location of some land uses. (See *Preliminary PUD approved in the MDA*).



B. Project Guidelines

1. Design Review Committee

Residential land within the property will be subject to a Declaration of Covenants, Conditions and Restrictions (CC&Rs). The CC&Rs establishes a Design Review Committee (DRC), which DRC will make decisions by referring to the design guidelines but shall have the ability to reject any land use, building type or architectural elevations at its own discretion in accordance with the terms and conditions of the CC&Rs. The DRC review of any project application will be the property owner's review prior to application to the City for Final Plat approval. The intent of the DRC is to ensure that the property is developed in a way that meets or exceeds the standards established by the City and to ensure a cohesive and quality development.

2. Purpose & Intent

The purpose of this document is to establish project standards which shall govern the site development, architectural, and landscape concepts for neighborhoods within the property boundaries that are unique to this property. The City will use these standards as the basis for review of each individual application as outlined in Section C. Anything not addressed by the standards in Section C will be subject to the conditions of the Herriman Municipal Code at the time of annexation.

3. Commercial Properties

The commercially zoned properties are outside of the PUD Overlay boundaries and are not subject to the standards of these guidelines, but they will be subject to the provisions of Herriman City Code for the C-2 Zone and subject to the terms of the MDA and the CC&Rs (including DRC review and approval). In the event a rezone application is submitted to Herriman City to enlarge or relocate the commercial properties, the rezoned property will be excluded from these project guidelines but will be subject to the provisions of Herriman City Code for the C-2 Zone and subject to the terms of the MDA and the CC&Rs (including DRC review and approval).

4. Modification of Design Guidelines

The Design Guidelines (as administered by the DRC and property owner) are subject to change when the owner determines such changes are in the best interest of the property. Any change in the Design Guidelines shall be in writing or documented and shall be at the sole discretion of the property owner. The modification of the Design Guidelines by the property owner shall in no way modify the standards set forth in these Project Guidelines in Section C.

5. Modification of Project Guidelines

These Project Guidelines may be revised subject to approval by the land owner and the appropriate governing body including Herriman City Staff and/or the Planning Commission.

C. Building & Site Standards

1. Scope & Authority

Planning Commission shall review all applications for development within the project according to the standards outlined in this section. Any items not addressed in this section shall be reviewed in accordance with the current Herriman City Code at time of annexation of the Property into Herriman City, subject to the terms and conditions of the MDA. Planning Commission shall require a written statement of approval from the Design Review Committee (DRC) stating compliance and approval.

2. Density Distribution

The project is approved with underlying zones of C-2 and R-2-10 with a PUD overlay. The total allowed residential units for the project (total area less the commercial parcels) shall be 1,990 units and shall conform to the following standards:

Area A	Acres	du/ac	Units
Multi-family – Apartment Site 1	15	20	300
Multi-family – Apartment Site 2	15	20	300
Residential	108.65	8	915
Maximum Total Units			1,515

Area B	Acres	du/ac	Units
Single-family Residential	71.12	7	520

Area C	Acres	du/ac	Units
Single-family Residential	38.23	3	117

In the event that either apartment project allowed in Area A is not built, the total number of units allocated shall be transferred to the Residential component of Area A. In addition, if other non-residential land uses are incorporated into the plan (i.e. churches, schools, etc.), the corresponding amount of density within the respective Development Area of the plan shall be reduced as per the allocated density of that Area.

3. Lot Widths & Setbacks

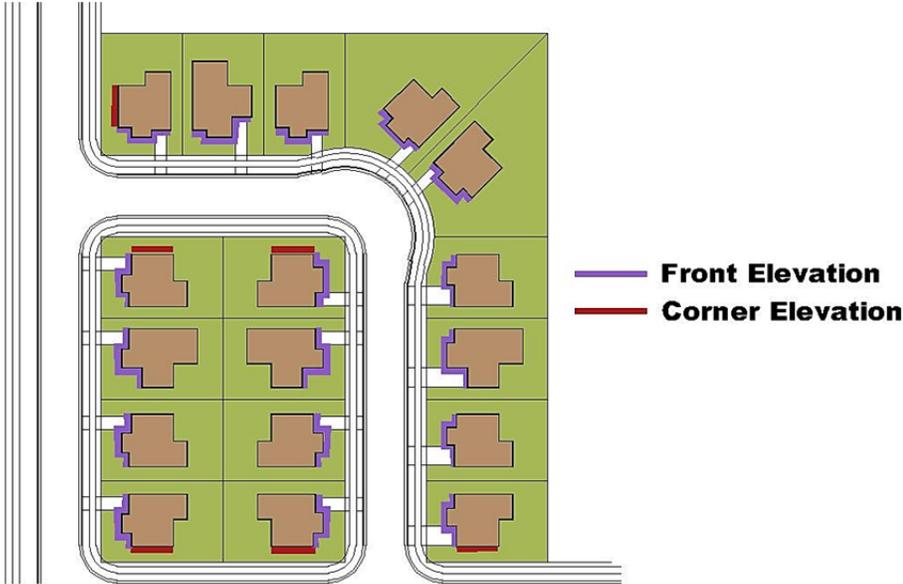
Minimum lot widths and setbacks shall be as follows (unless otherwise approved by the Planning Commission):

Dwelling type	Front-yard Setback	Rear-yard Setback	Side-yard Setback	Lot Frontage
Single-family detached	10' for living area 20' from face of garage to property line	15' Minimum	5' Minimum (Minimum 10' between adjacent homes)	35' Minimum
Multi-family	20' Minimum	10' Minimum	10' Minimum	n/a

- a. *Accessory Building Setback Standard*—Accessory buildings (detached garages, workshops, sheds, etc.) shall be a minimum of 5' setback from all property lines and shall not impose hardship on a neighboring property (eg. storm water runoff from roof overhangs).

4. Lot Character

- a. *Staggered front yard setbacks* – A variable front yard setback should be encouraged within each block.
- b. *Variable lot width* – Providing variable lot widths within an individual product line is encouraged
- c. *Façade zones* — Front and corner lot elevations (or façades) and, in some situations rear elevations, that are visible from public areas are important to community character. It is imperative for these façades to be articulated to improve the street scene and aesthetics of the neighborhood. Façade zones will be identified as applicable front elevations, corner lots, and/or visible edges in establishing the level of architectural detail required.



5. Building Heights

Building height restrictions shall be as follows (unless otherwise approved by the Planning Commission):

<i>Dwelling type</i>	<i>Story Height</i>	<i>Maximum Stories</i>	<i>Height Measurement</i>
Single-family detached	12'	3	Maximum height measured to top of ceiling plate of top story
Accessory Building	10'	1	
Multi-family	12'	3	

Building height is measured in stories for each above-ground level according to the following:

- a. Stories are measured from finished floor to finished ceiling.
- b. Unfinished attics do not count towards building height. Finished attics count toward ½-story.
- c. Raised basements greater than 3 feet above grade at the principal frontage are counted as a story.
- d. Walk-out basements are not counted as a story, provided the front elevation does not expose more than 3' of the basement story.

6. Exterior Building Materials

Building materials for single-family and multi-family developments shall conform, at a minimum, to Herriman City Design Standards for medium and high-density projects and shall meet all conditions of the Design Review Committee. Applicants will be required to submit to Herriman City all architectural elevations required by City standards, as well as architectural style cut sheet(s), building type cut sheet(s), open space cut sheet(s), and architectural color & materials map(s). (See appendices for examples.)

7. Parking

Parking requirements shall be as follows (unless otherwise approved by the Planning Commission):

<i>Dwelling type</i>	<i>Parking Required/unit</i>	<i>Guest Parking Spaces</i>	<i>Notes</i>
Single-family detached and town homes	2 sp/unit	0	Tandem parking to meet required parking is allowed behind garage spaces provided the space does not encroach into sidewalks or public rights-of-way
Town homes that are alley loaded	2.5 sp/unit	0.5 per unit	Tandem parking to meet required parking is allowed behind garage spaces provided the garage and tandem space are assigned to a specific unit and the space does not encroach into sidewalks or travel lanes substantiated by a parking analysis
Town homes that are not alley loaded	2 sp/unit	0.5	Tandem parking to meet required parking is allowed behind garage spaces provided the garage and tandem space are assigned to a specific unit and the space does not encroach into sidewalks or travel lanes substantiated by a parking analysis
Multi-family Apartments	1.75 sp/unit	0.125 per units	Tandem parking to meet required parking is allowed behind garage spaces provided the garage and tandem space are assigned to a specific unit and the space does not encroach into sidewalks or travel lanes substantiated by a parking analysis

8. Landscape & Plant Materials

Plant Materials shall be consistent with the Herriman City Approved Tree and Shrub List (§4.17.03 Herriman Development Standards) or the Tree and Plant Palette provided in the Design Guidelines (section D2e). Applicants will be required to submit landscape plans for review for each individual site within the project boundary. Special care will be taken in reviewing the landscape for areas visible from public rights-of-way within any front or side setback.

Front and side yards, visible from the street, shall be installed prior to occupancy per Herriman City Ordinance 9-4-3. Rear yards that are visible from the street shall be maintained so vegetation is not unruly.

9. Street Layouts

Major street and street connections shall be consistent with the terms and conditions of the MDA and the infrastructure plans and mutually agreed upon by Herriman City and the master developer. Widths of streets shall be consistent with these Project Guidelines and consistent with the appropriate street classifications as identified in traffic studies and the Master Transportation Plan adopted by Herriman City. The design of interior streets should consider allowing the creation and use of non-conventional street standards.

10. Roadway design

a. Road Cross-sections

Typical road cross-sections shall be modified as shown below. Additional width of park strips may be counted as open space toward the required open space amount.

- b. **Engineering cross-section** (asphalt profile)
Road profile cross-section (i.e. thickness of asphalt profile and depth of gravel base) shall be determined based on the recommendation of a geotechnical engineer and location-specific conditions & criteria.

11. Open Space

- a. **Publicly Accessible Open Space** – Individual Builders or Developers within the project will be required to accommodate the need for additional open space within individual projects (beyond that dedicated as part of the roughly 45 acre main park and as required by the PUD ordinance to dedicate or grant access to 20% of the total PUD property). Such open space may be incorporated into other functions pursuant to the terms of the MDA.
- b. **Public Trails**— Individual Builders or Developers within the project will be required to accommodate a trail system. Trails will be required to connect to any existing adjacent trails. Trails may be relocated through or around proposed projects provided they allow for a continuous trail system.



D. Appendices

Example(s) of Architectural Cut Sheets

NOTE: The following cut sheets are examples of the type of cut sheets that will be developed by the builder/developer and will be submitted to the DRC & the Herriman Planning Commission for review and approval. These cut sheets are not intended to be proposals for architectural product or styles for the Creek Ridge Project, but rather an example of what the planning commission and DRC will expect to see from developers.

Appendix A

Example(s) of Architectural Cut Sheets

(To be submitted to DRC & Planning Commission by builder/developer)

American Foursquare

Identifying Characteristics

- Simple box shape
- 2 ½ stories high
- Large central dormer
- Full width one-story porch with square columns and wide stairs



Building Form

- Symmetrical building form
- Two-story rectangular massing

Roofs

- Hipped or pyramid roof line
- Deep overhanging eaves
- Front single dormer
- Roof pitch - 3:12 to 6:12
- Roof overhang
 - Eaves – 18 inches

Elevations

- **Front elevations:** Stucco, fiber-cement siding, smart board siding, shingle, stone, and/or brick. May have different siding materials on the upper and lower walls.
- **Side elevations:** Front elevation materials must wrap the corner of the house a minimum of 18 inches, or a change of materials must occur at an inside corner. When in public view additional detailing is required to occur.
- **Rear elevations:** Must have detailing consistent with the architectural style. When in public view additional detailing is required to occur such as stepping of elevations, massing variation and varied patio elements.

Windows

- One-over-one
- Multi-over-one
- Rectangular tops

Entries

- Full width one-story porch with square columns and wide stairs

Doors

- Single door
- Large pane glazing
- Rectangular

Detail Elements

- Brick pedestals
- Gable dormer
- Exposed rafter tails

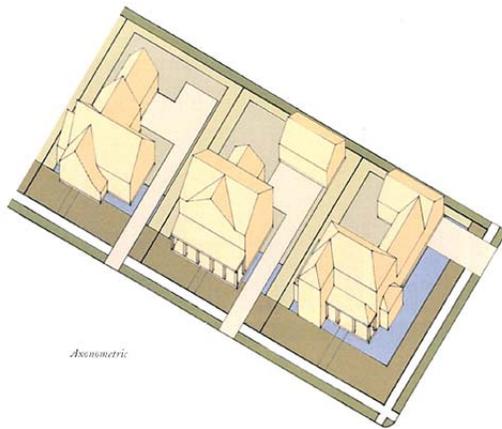
Colors / Materials

- Natural earth tone
- Darker rich tone
- Classic architectural palette
- Stucco
- Fiber cement siding
- Shingle
- Brick
- Stone

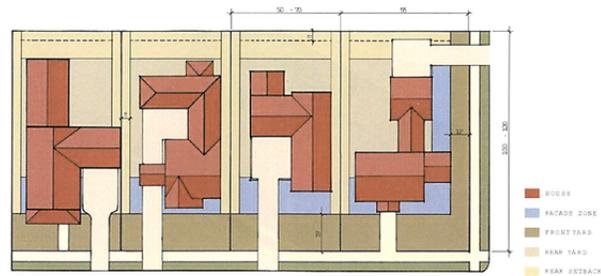
Appendix B

Example(s) of Building Type Cut Sheets

(To be submitted to DRC & Planning Commission by builder/developer)



Asymmetric



Front Loaded Lot, Building Placement, Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- Interior lots: 50-70 feet by 100-120 feet
- Corner lots: 55 feet by 100-120 feet
- Maximum 40% lot coverage

MINIMUM HOUSE SETBACKS

- Front Yard: 15 feet to the house; 18 feet behind front facade to street-facing engaged garage, 0 feet if garage doors face side yard
- Side Street: 15 feet to the house; 20 feet to the garage
- Side Yard: 5 feet to the house and garage
- Rear Yard: 20 feet to the house; 5 feet to the garage

ENCROACHMENTS INTO SETBACKS

- Porches 5 feet into front yard and side street setbacks only
- Balconies 5 feet into front yard and side street setbacks only
- Bay windows 2 feet
- Fireplace/Media Center 2 feet (10 feet maximum width)
- Patio 2 feet

GARAGE TYPES

- Semi-attached, side street drive (located at rear setback line)
- Engaged garage
- Detached, side yard drive (located at rear setback line)

LIVING AREA

- 1,500 to 2,400 square feet
- Maximum single-story footprint is 1,600 square feet

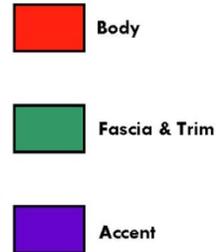
Appendix C

Example(s) of Architectural Color & Material Map

(To be submitted to DRC & Planning Commission by builder/developer)



Color Key



Diagrammatic representation of color locations for building elements



Color Key



Application of color palate on proposed home



Potential Color / Building Material Palettes

Appendix D

Example(s) of Open Space Cut Sheets

(To be submitted to DRC & Planning Commission by builder/developer)

Community Park

Description

The focus of this park classification is on meeting community based recreational needs, as well as preserving unique landscapes and open spaces. They allow for group activities and offer other recreational opportunities not feasible at the neighborhood level. They should be developed for both active and passive recreation activities and serve two or more neighborhoods.

Size

10 to 20 acres

Service

1/2 to 2 mile radius

Examples

Scera Park - Orem, Utah



Pocket Park

Description

Small and frequent, generally with passive recreation that ensures walkable green space access for everyone. May contain specialized facilities that serve a concentrated or limited population or group such as tots, pets, or senior citizens.

Size

2,500 SF to 1.0 Acre

Service

1/4 mile radius

Examples

Davis Park - Salt Lake City, Utah

