



Herriman City is rising.

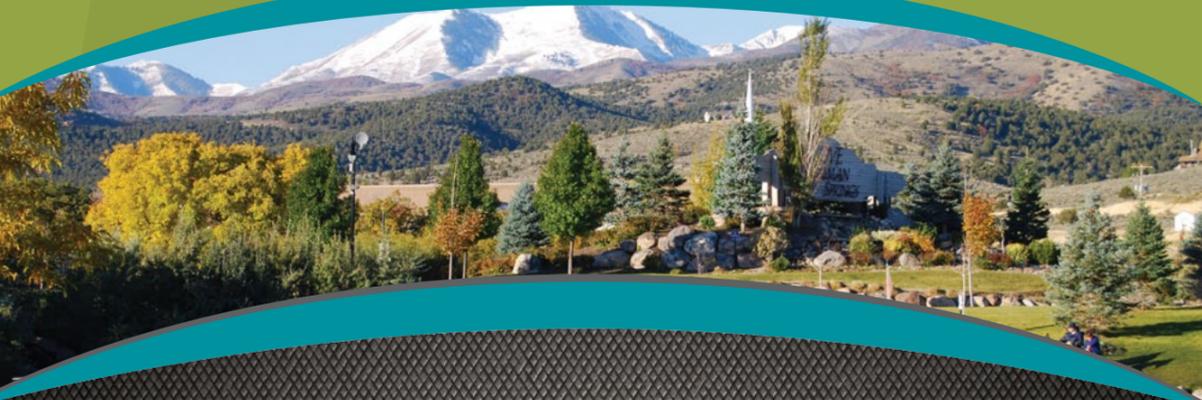
Economic growth is exploding.

One of the fastest growth rates in Utah.

More single-family homes per capita.

Family friendly.

Business friendly.



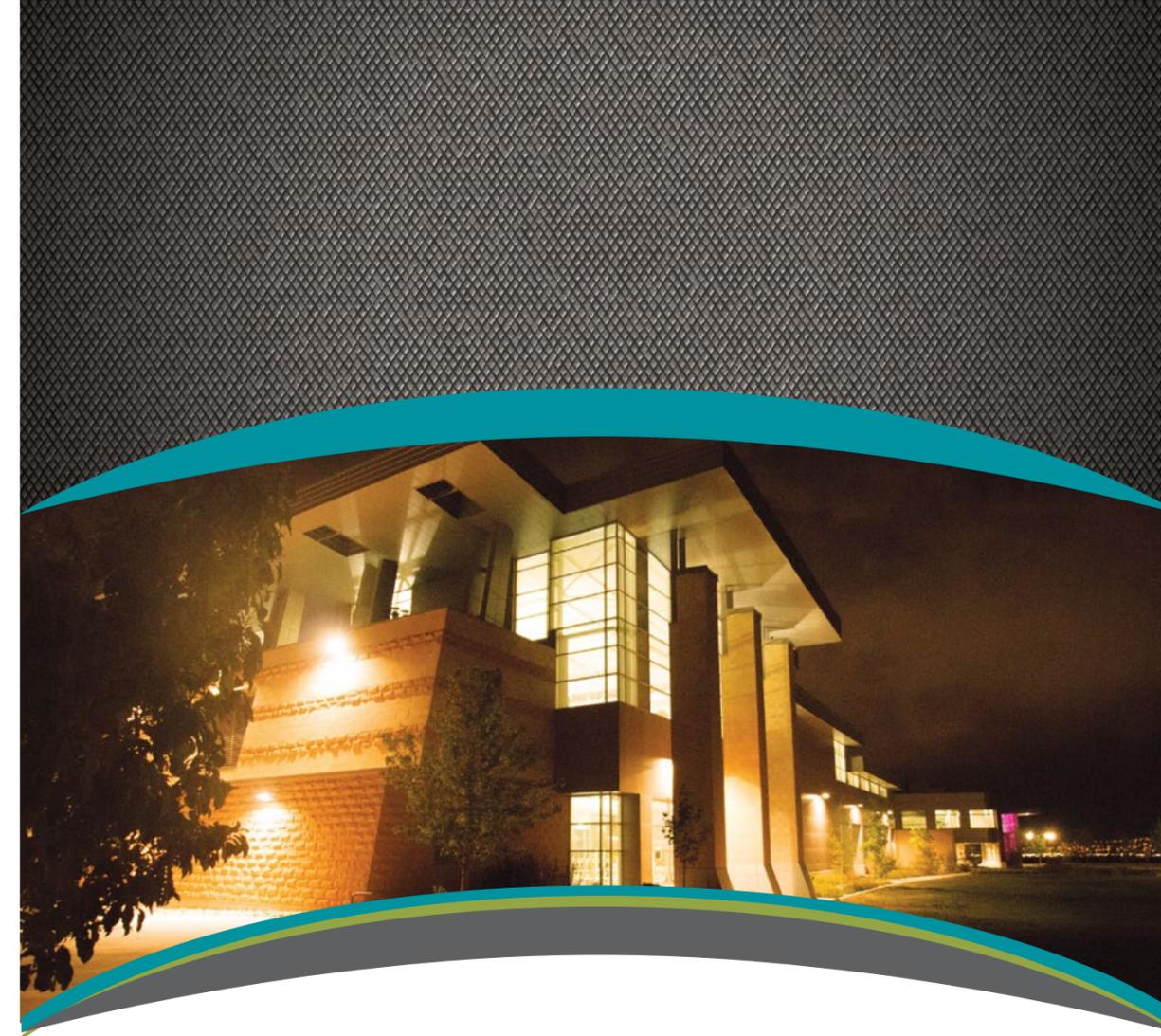
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Contact the Economic Development Department for further information.



Herriman, City

Produced in cooperation with The Economic Development Corporation of Utah



HERRIMAN CITY, UTAH



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Located just 20 miles southwest of Salt Lake City, Herriman City, a master-planned community, successfully balances small-town appeal while aggressively pursuing economic development opportunities. As a result, we offer you a vibrant and young community that has quickly become one of the fastest growing cities in Utah.



Encompassing 23 square miles with seven miles of freeway frontage, Herriman is an ideal choice for new and expanding businesses looking for a rapidly growing population, available land, lower business costs, shovel-ready sites, and an enviable lifestyle.

Utah continues to receive accolades as the best state for businesses, with Herriman City proving to be one of its most valuable assets—truly a city on the rise.

UNTAPPED BUYING POWER

Strong consumer demographics in Herriman City—young, affluent, educated, family-oriented, and a median household income of \$76K—all but guarantee your business success. There is an unmet need for services which creates a fertile business environment with a rapidly growing customer base who have discretionary income to spend.

At only 40% of estimated build-out, this buying power will continue to grow exponentially, increasing demand and creating ongoing opportunities for retail success.

READY ACCESS AND STRATEGIC LOCATION

As an emerging community, Herriman City offers many prime-land choices with competitive purchase and lease rates along seven miles of Mountain View Corridor freeway frontage.

In addition, our location just minutes from Interstate 15 provides ready access to three major universities, Salt Lake International Airport, and our nationally-recognized ski resorts.

PARTNERING WITH BUSINESSES

Proving that business-friendly is more than a buzzword, Herriman City has two tax increment development areas with more than 600 acres of shovel-ready opportunities for industrial, office park and commercial development. We pride ourselves on unequaled customer service, including fast-track permitting.

QUALITY OF LIFE

As we grow, Herriman is dedicated to creating a community synergy for residents and businesses with a wide range of housing options, a job-creation focus, retail variety, a higher educational institution, and recreational amenities. Our progressive planning approach, combined with close proximity to downtown Salt Lake City, has proven to be a recipe for growth.



We are dedicated to creating a community; not just building a city. This attitude is powerfully shown by our expansive recreational system that includes 800 acres of open space, 40 miles of improved trails, a fishing and swimming reservoir, a 64 acre equestrian park and the largest recreational center in Salt Lake County.

